

Everleigh



PRECINCT 10.3



NOTES

This plan has been prepared from preliminary survey plan (SP344913) and engineering plans provided on the 11/03/2024 by Premise Civil Engineering Pty Ltd.

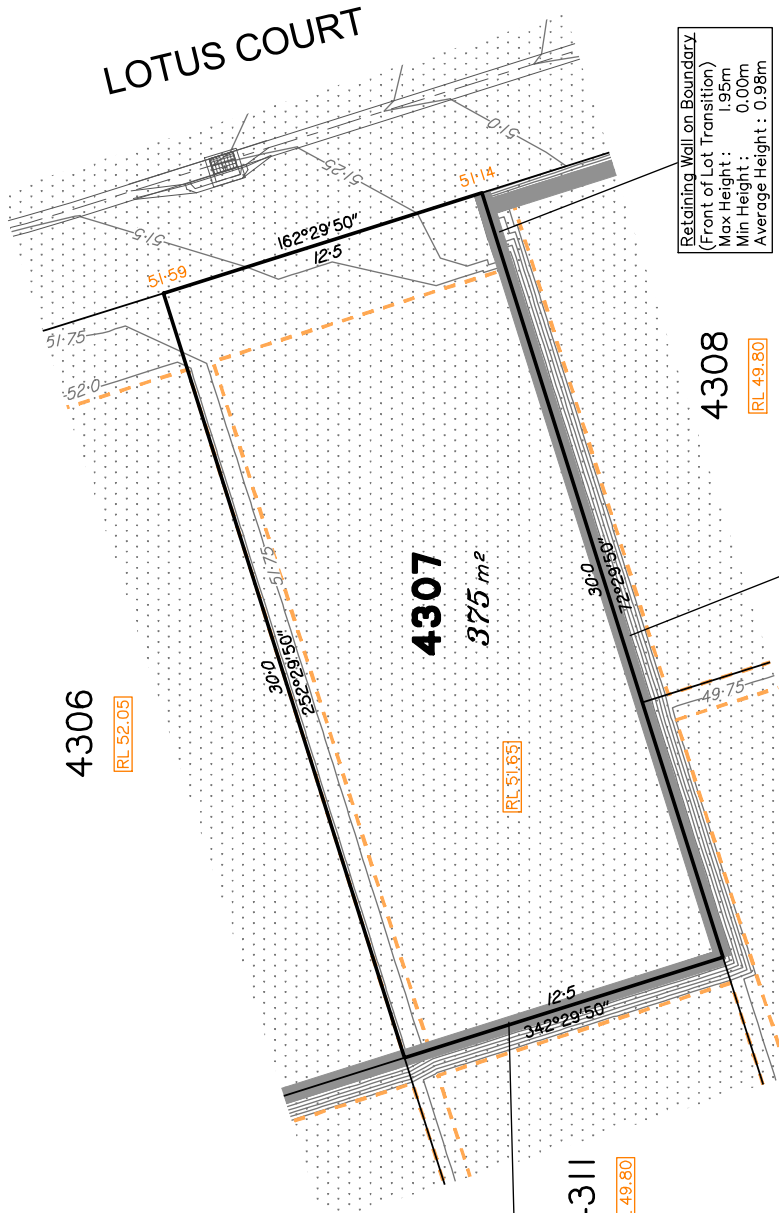
The current development approval was granted for this subdivision (DEV2022127177) by the Minister for Economic Development Queensland on 15th of December, 2023.

The relevant authorities have granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Extent of retaining walls shown indicatively only. Retaining walls may not extend the full length of a lot boundary where finished level between allotments is less than 0.5m.

Parts of this lot may be subject to rip and re-compact earthwork procedures as determined by site conditions. This process may be completed in cut locations to assist the horse pad construction. Any re-compaction will comply with AS3798 requirements and certified by a third party company.



4312 RL 50.15

Retaining Wall on Boundary
 Max Height: 1.95m
 Min Height: 1.95m
 Average Height: 1.95m

4311 RL 49.80

- LEGEND**
- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Retaining Wall
 - Tiered Retaining Wall
 - Earthworks Pad
 - Finished Pad Design Level
 - Finished Surface Design Level

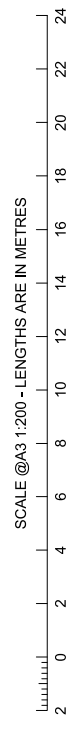
(Not all items in this legend may be relevant to the lot shown hereon)

4308 RL 49.80

Retaining Wall on Boundary (Front of Lot Transition)
 Max Height: 1.95m
 Min Height: 0.00m
 Average Height: 0.98m

Retaining Wall on Boundary
 Max Height: 2.05m
 Min Height: 1.95m
 Average Height: 2.00m

4309 RL 49.70



This Disclosure Plan is prepared for the sole purpose of satisfying the disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Level Datum: AHD der.
 Origin of Levels: PSM 203673
 RL of Origin: 54.070
 Contour Interval: 0.25m
 Scale @A3 1:200
 Dwg No. 7598 S 65 DP A_4307

Disclosure Plan for Proposed Lot 4307 on SP344913
 Described as part of Lot 9003 on SP344891
 Existing Title Reference: 51344722
 Locality of Greenbank (Logan City Council)

Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane # Springfield
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1800 853 516 web www.saundershavill.com



No.	by	Date	Chkd	Description
A	MD	03/04/24	PS	Original Issue