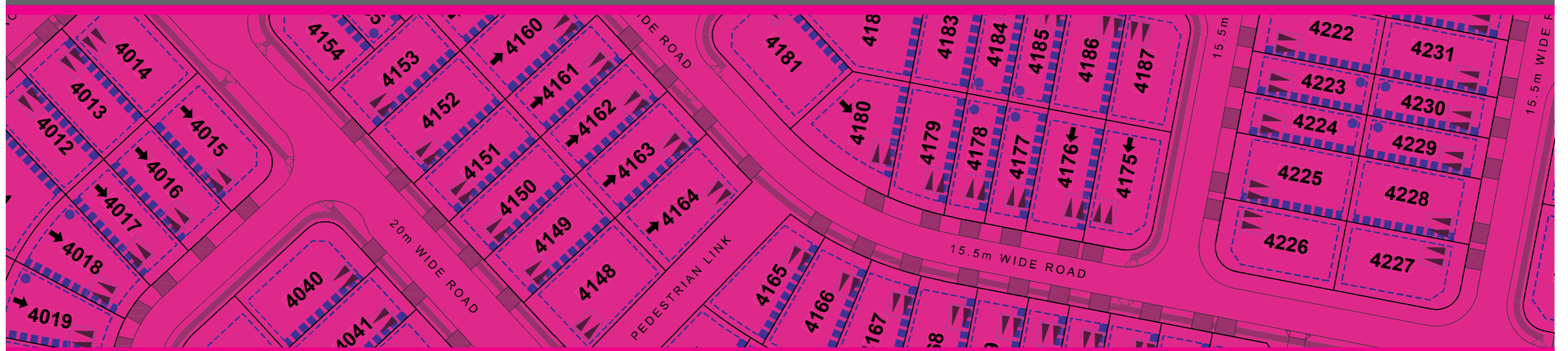


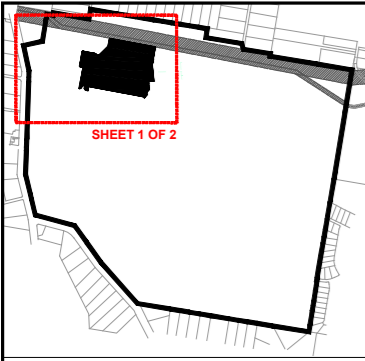
Everleigh

ROL 10: PLAN OF DEVELOPMENT ENVELOPE PLANS

TEVIOT ROAD, EVERLEIGH

JULY 2022





LOCALITY DIAGRAM

LEGEND

GENERAL

- Site Boundary
- ROL 10 Boundary
- Indicative Footpath Location
- Indicative Bus Stop Location
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to the ground and upper floors
- Major Linear Park
- Neighbourhood Park
- Local Park
- Powerline Easement

RESIDENTIAL - STANDARD LOTS

HOUSE (ATTACHED)

- Front Loaded Terrace
- Rear Loaded Terrace
- Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

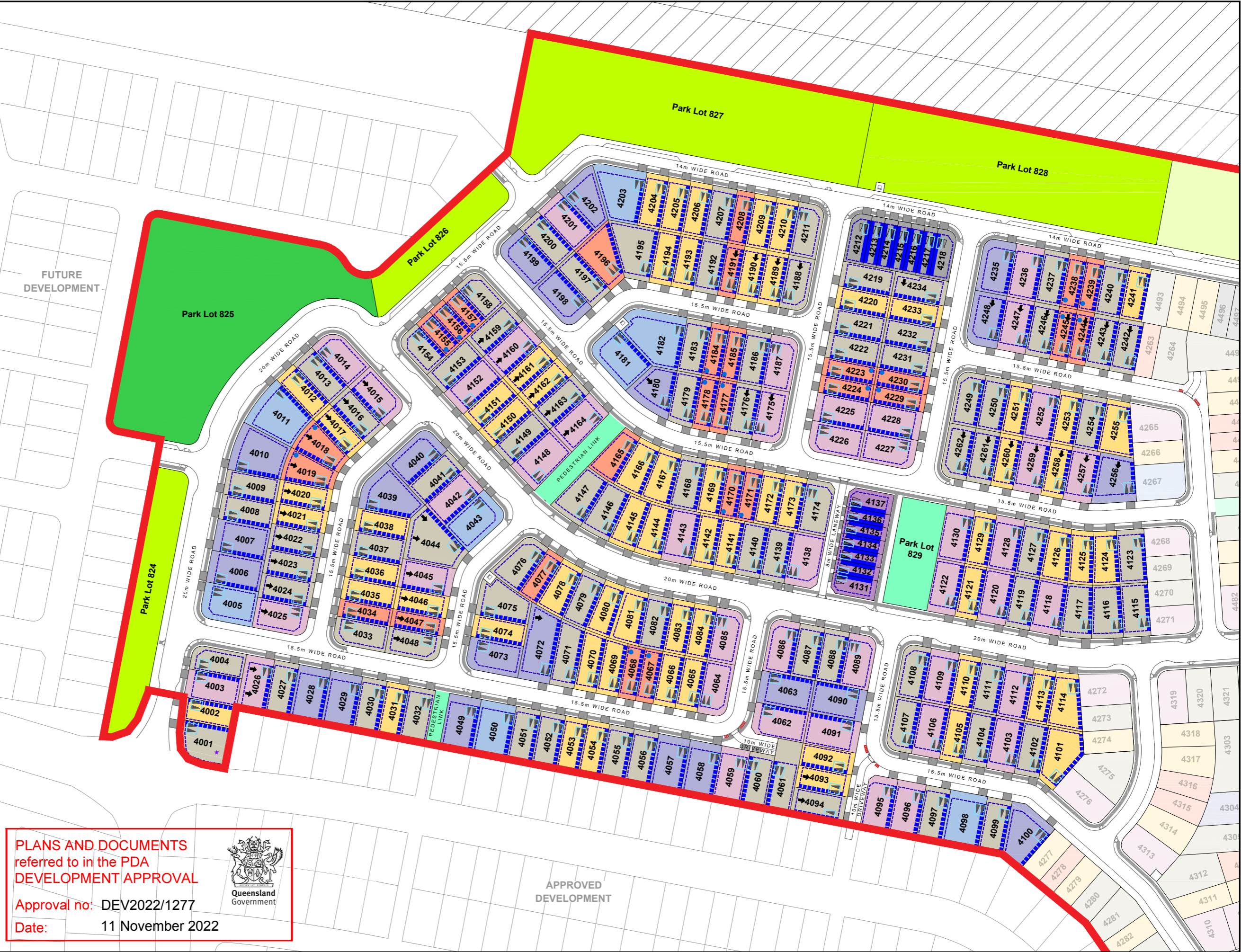
- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

DEVELOPMENT CONTROLS

- Maximum Building Location Envelope (Tables in the ROL 10: Plan of Development - Design Criteria document have precedence)
- Optional Built to Boundary Wall
- Mandatory Built to Boundary Wall
- Preferred Garage Location (Refer the ROL 10: Plan of Development - Design Criteria document for garage specifications and requirements)
- Indicative Driveway Location
- Lots which require increased setbacks (Refer the ROL 10: Plan of Development - Design Criteria document for rear setback distances)
- Indicative Bin Pad Location
- PMT Site

NOTES:

- These plans must be read in conjunction with ROL 10: Plan of Development - Design Criteria document.
- This POD plan may be changed via compliance assessment in accordance with Section 2.0 of the ROL 10: Plan of Development - Design Criteria document.

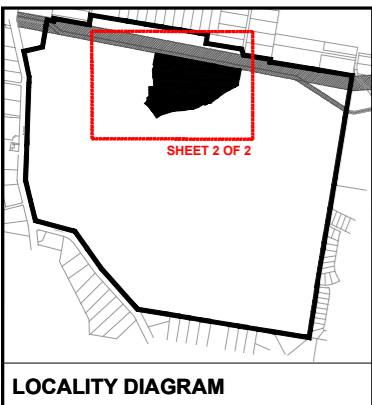


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1277

Date: 11 November 2022





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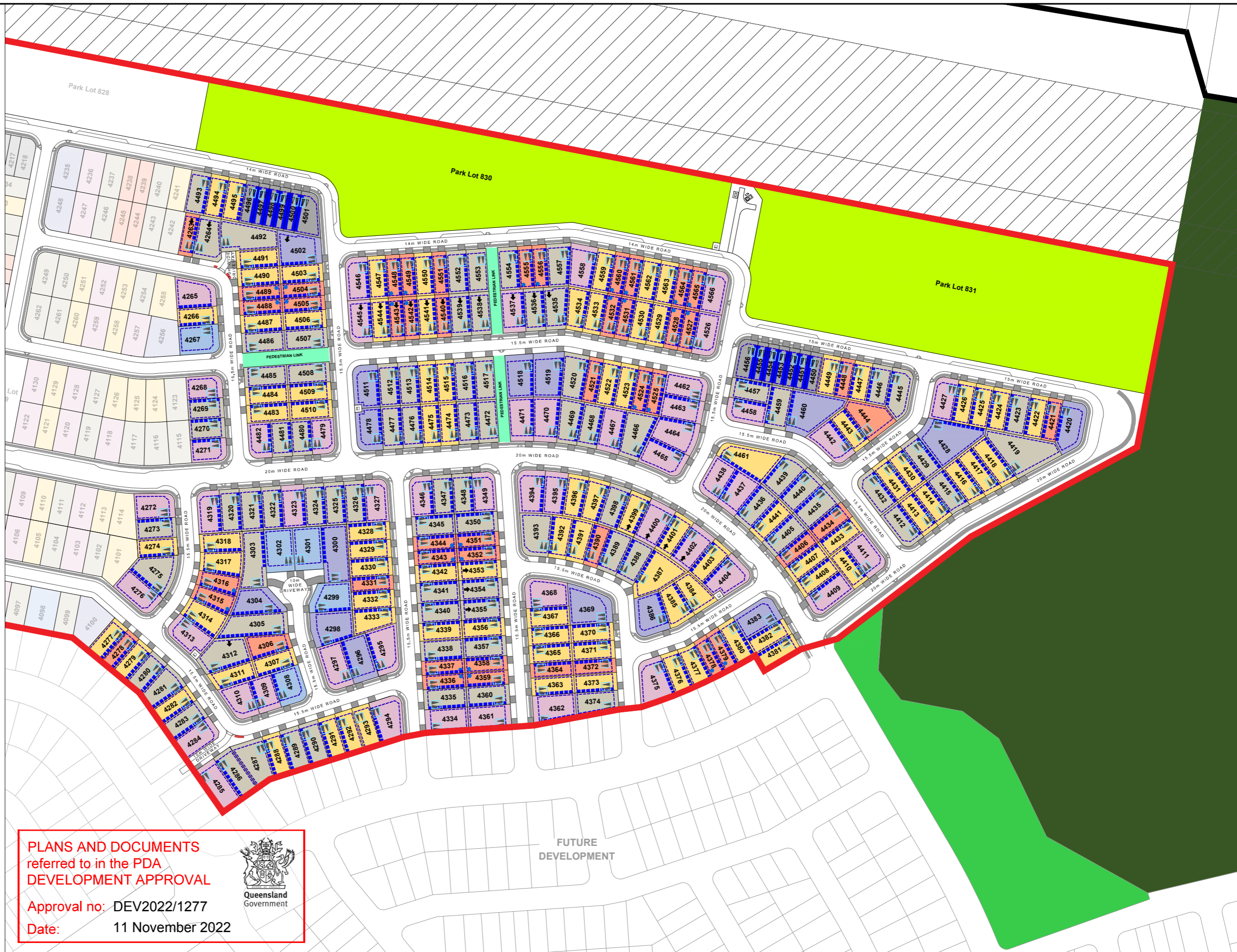
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