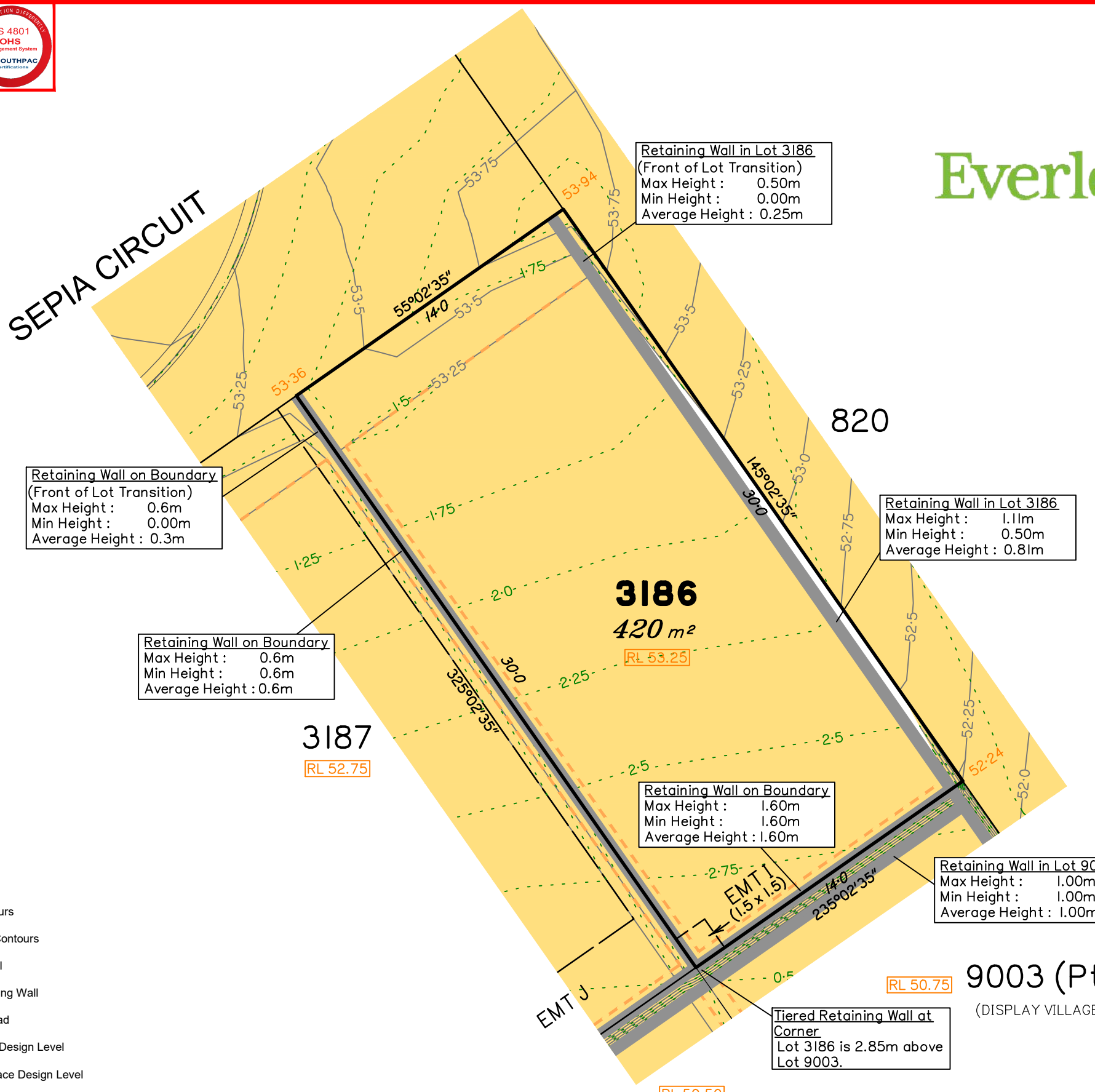


SEPIA CIRCUIT

Everleigh



Retaining Wall on Boundary
(Front of Lot Transition)
Max Height : 0.6m
Min Height : 0.00m
Average Height : 0.3m

Retaining Wall in Lot 3186
(Front of Lot Transition)
Max Height : 0.50m
Min Height : 0.00m
Average Height : 0.25m

Retaining Wall in Lot 3186
Max Height : 1.11m
Min Height : 0.50m
Average Height : 0.81m

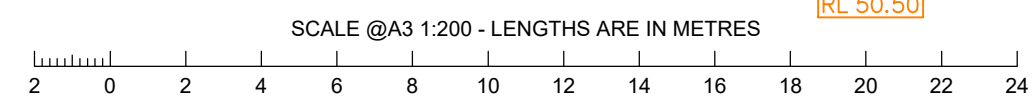
Retaining Wall on Boundary
Max Height : 0.6m
Min Height : 0.6m
Average Height : 0.6m

Retaining Wall on Boundary
Max Height : 1.60m
Min Height : 1.60m
Average Height : 1.60m

Retaining Wall in Lot 9003
Max Height : 1.00m
Min Height : 1.00m
Average Height : 1.00m

Tiered Retaining Wall at Corner
Lot 3186 is 2.85m above Lot 9003.

- LEGEND**
- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Retaining Wall
 - Tiered Retaining Wall
 - Earthworks Pad
 - RL XX.XX Finished Pad Design Level
 - XX.XX Finished Surface Design Level
- (Not all items in this legend may be relevant to the lot shown hereon)



NOTES
This plan has been prepared from preliminary survey plan (SP331503) and engineering plans provided on the 13/12/2021 by Premise Engineering Pty Ltd.

Development approval was granted for this subdivision (DEV2020/1160) by the Minister for Economic Development Queensland on 26th of August 2021.

The relevant authorities have granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Extent of retaining walls shown indicatively only. Retaining walls may not extend the full length of a lot boundary where finished level between allotments is less than 0.5m.

Lot 3186 contains Easement I on SP331503 for services benefiting Logan City Council.

No.	by	Date	Chkd	Description
A	TBG	10/03/22	CU	Original Issue

saunders havill group
 Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane Springfield Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 3186 on SP331503
 Described as part of Lot 9003 on SP331504
 Existing Title Reference: 51275679
 Locality of Greenbank (Logan City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 203673
 RL of Origin: 54.070
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 7598 S 45 DP A_3186