

# Everleigh

## ROL 5: PLAN OF DEVELOPMENT ENVELOPE PLANS

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL



Approval no: DEV2020/1160

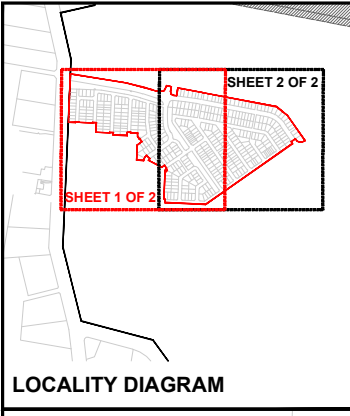
Date: 26 August 2021

TEVIOT ROAD, EVERLEIGH

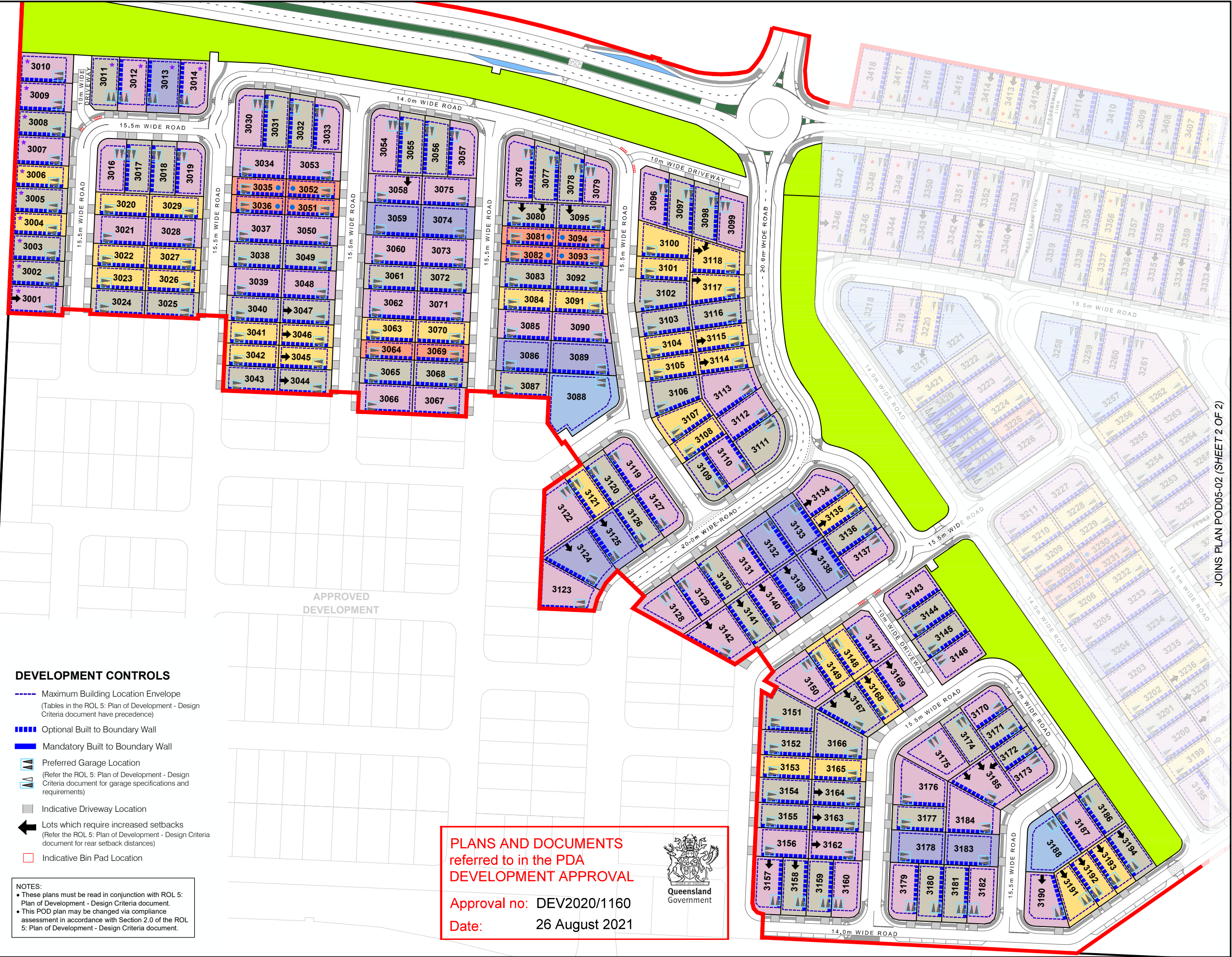
21 JULY 2021







LOCALITY DIAGRAM



**LEGEND**

- GENERAL**
- Site Boundary
  - ROL 5 Boundary
  - Indicative Footpath Location
  - Indicative Bus Stop Location
  - ★ Buildings which require acoustic design to upper floors only
  - ★ Buildings which require acoustic design to the ground and upper floors
  - Major Linear Park
  - Central Median Strip

**RESIDENTIAL - STANDARD LOTS**  
HOUSE (ATTACHED)

- Terrace
- Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

MULTIPLE RESIDENTIAL

- Multiple Residential
- Potential Duplex Dwelling
- MR 2 Max 2 Dwellings
- MR 3 Max 3 Dwellings
- MR 4 Max 4 Dwellings
- Front Loaded
- Rear Loaded
- Dual Loaded

**DEVELOPMENT CONTROLS**

- Maximum Building Location Envelope (Tables in the ROL 5: Plan of Development - Design Criteria document have precedence)
- Optional Built to Boundary Wall
- Mandatory Built to Boundary Wall
- ▲ Preferred Garage Location (Refer the ROL 5: Plan of Development - Design Criteria document for garage specifications and requirements)
- Indicative Driveway Location
- ← Lots which require increased setbacks (Refer the ROL 5: Plan of Development - Design Criteria document for rear setback distances)
- Indicative Bin Pad Location

**NOTES:**

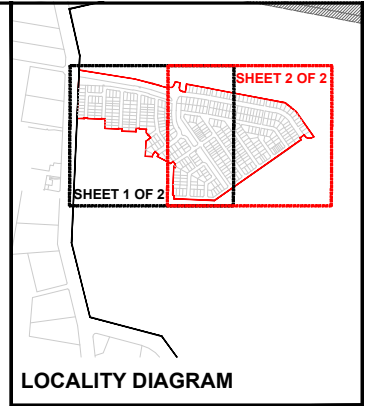
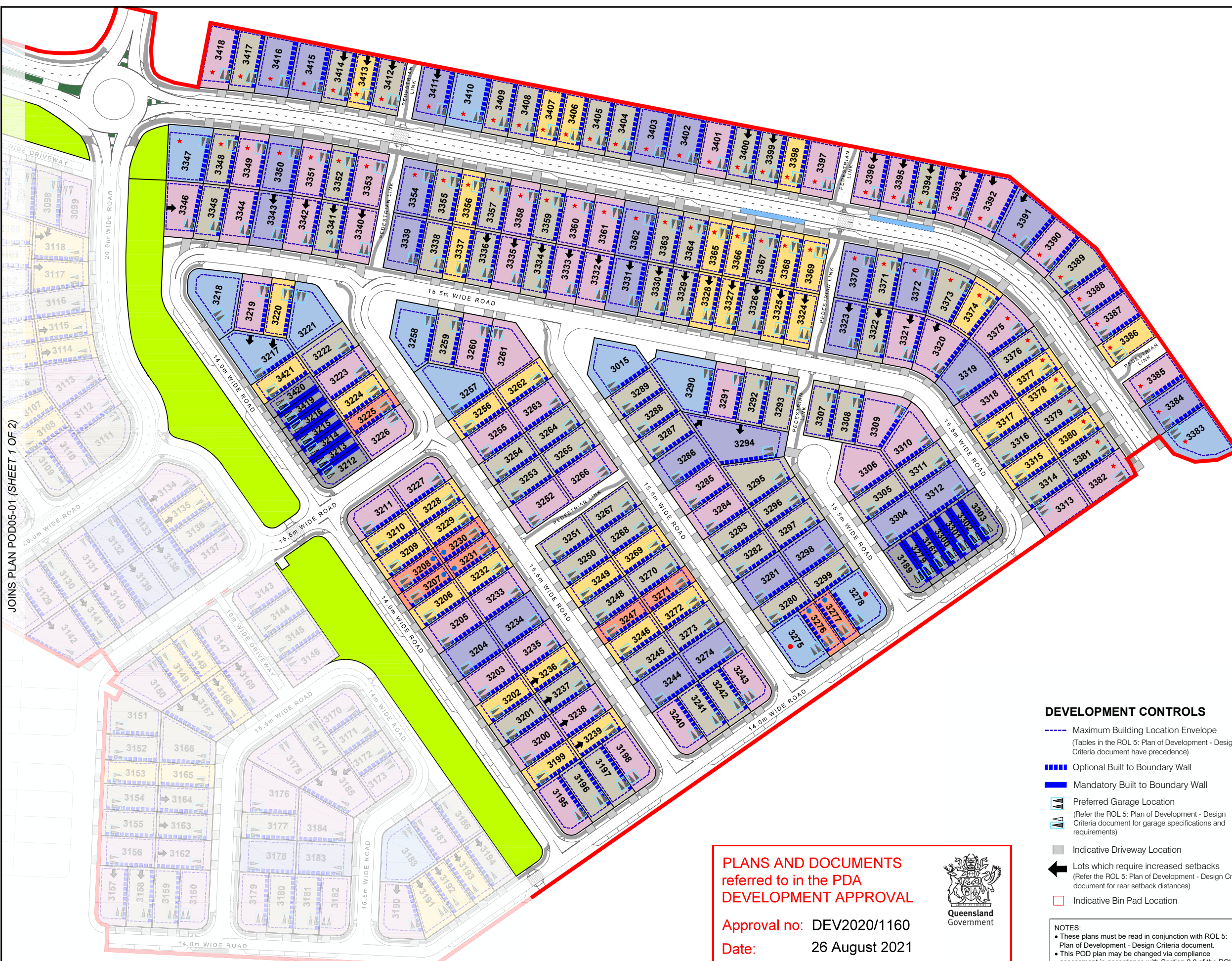
- These plans must be read in conjunction with ROL 5: Plan of Development - Design Criteria document.
- This POD plan may be changed via compliance assessment in accordance with Section 2.0 of the ROL 5: Plan of Development - Design Criteria document.

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JOINS PLAN POD05-02 (SHEET 2 OF 2)





**LEGEND**

- GENERAL**
- Site Boundary
  - ROL 5 Boundary
  - Indicative Footpath Location
  - Indicative Bus Stop Location
  - Buildings which require acoustic design to upper floors only
  - Buildings which require acoustic design to the ground and upper floors
  - Major Linear Park
  - Central Median Strip
- RESIDENTIAL - STANDARD LOTS**
- HOUSE (ATTACHED)**
- Terrace
  - Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)
- HOUSE (DETACHED)**
- Villa
  - Premium Villa
  - Courtyard
  - Premium Courtyard
  - Traditional
  - Premium Traditional
- MULTIPLE RESIDENTIAL**
- Multiple Residential
  - Potential Duplex Dwelling
  - MR 2 Max 2 Dwellings
  - MR 3 Max 3 Dwellings
  - MR 4 Max 4 Dwellings
  - Front Loaded
  - Rear Loaded
  - Dual Loaded

- DEVELOPMENT CONTROLS**
- Maximum Building Location Envelope (Tables in the ROL 5: Plan of Development - Design Criteria document have precedence)
  - Optional Built to Boundary Wall
  - Mandatory Built to Boundary Wall
  - Preferred Garage Location (Refer the ROL 5: Plan of Development - Design Criteria document for garage specifications and requirements)
  - Indicative Driveway Location
  - Lots which require increased setbacks (Refer the ROL 5: Plan of Development - Design Criteria document for rear setback distances)
  - Indicative Bin Pad Location

**NOTES:**

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JOINS PLAN POD05-01 (SHEET 1 OF 2)