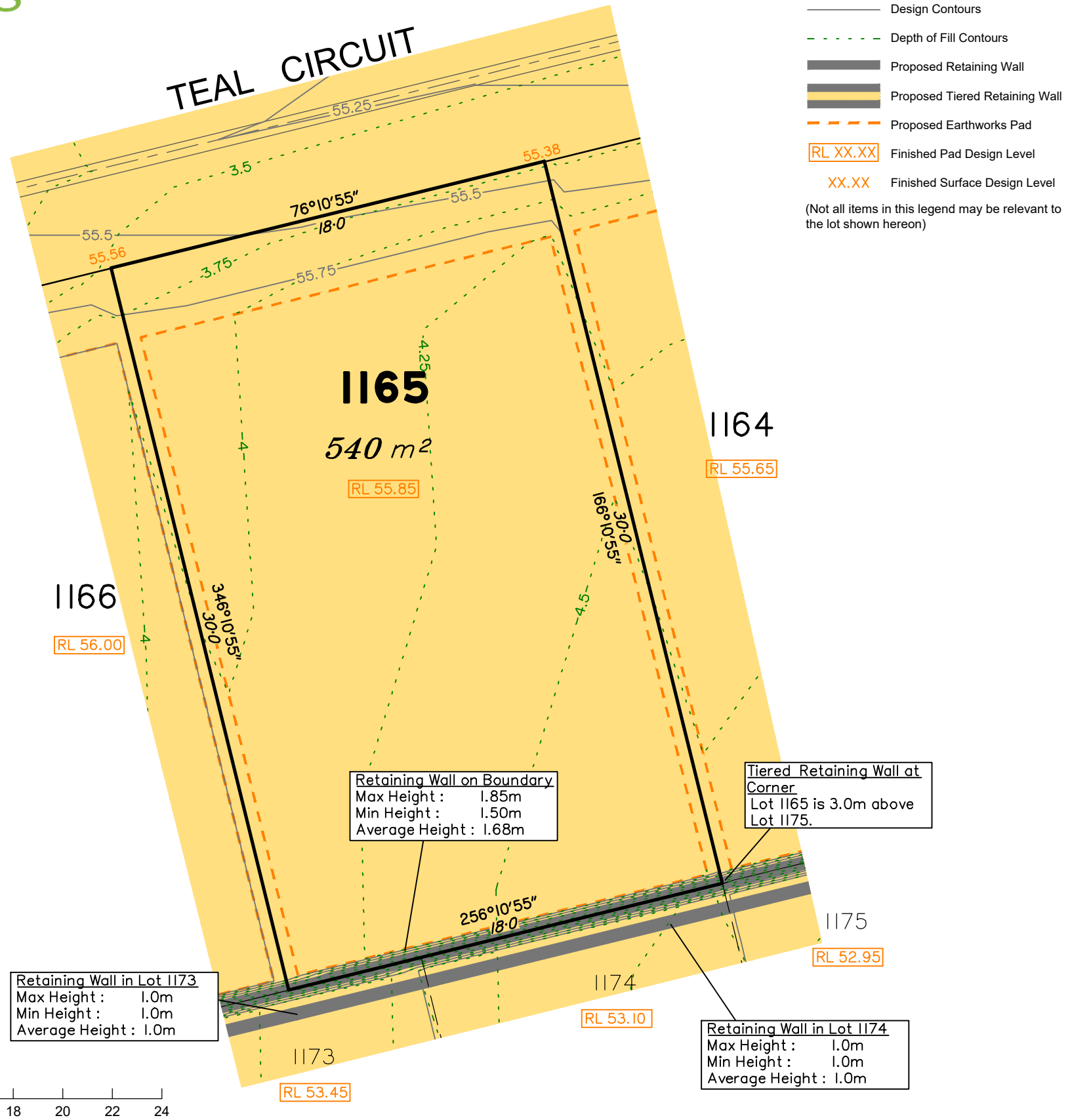
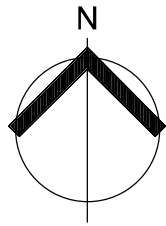
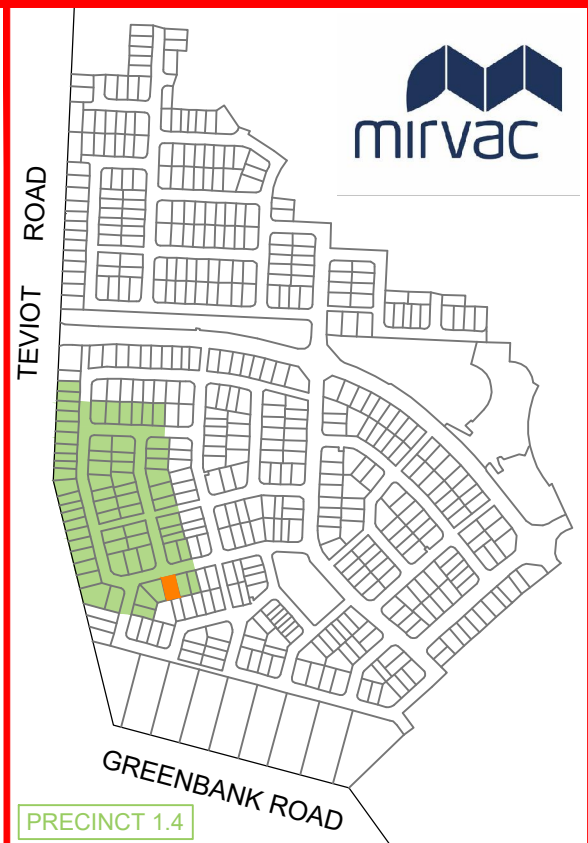




Everleigh



- LEGEND**
- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall
 - Proposed Tiered Retaining Wall
 - Proposed Earthworks Pad
 - RL XX.XX Finished Pad Design Level
 - XX.XX Finished Surface Design Level
- (Not all items in this legend may be relevant to the lot shown hereon)



NOTES

This plan has been prepared from preliminary survey plan (SP300874) and engineering plans provided on the 20/11/2019 by Premise Engineering Pty Ltd.

Development approval was granted for this subdivision (DEV2016/768/35) by the Minister for Economic Development Queensland (04/07/19).

The relevant authorities have granted operational works approval, for the proposed lot.

Extent of retaining walls shown indicatively only. Retaining walls may not extend the full length of a lot boundary where finished level between allotments is less than 0.5m.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Fill placed between proposed tiered retaining walls will generally be equal to the height of the top of the bottom retaining wall.

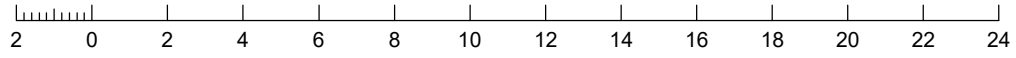
Retaining Wall in Lot 1173
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height : 1.0m

Retaining Wall on Boundary
 Max Height : 1.85m
 Min Height : 1.50m
 Average Height : 1.68m

Tiered Retaining Wall at Corner
 Lot 1165 is 3.0m above Lot 1175.

Retaining Wall in Lot 1174
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height : 1.0m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Description
A	TBG	11/12/19	Original Issue

saunders havill group
 Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane • Springfield • Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 5HG web www.saundershavill.com
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 1165 on SP300874
 Described as part of Lot 9001 on SP300873
 Existing Title Reference: 51194166
 Locality of Greenbank (Logan City Council)

Level Datum: AHD der.
 Origin of Levels: PSM203673
 RL of Origin: 54.07m
 Contour Interval: 0.25m
 Scale @A3 1:200
 Dwg No. 7598 S 24 DP A_1165