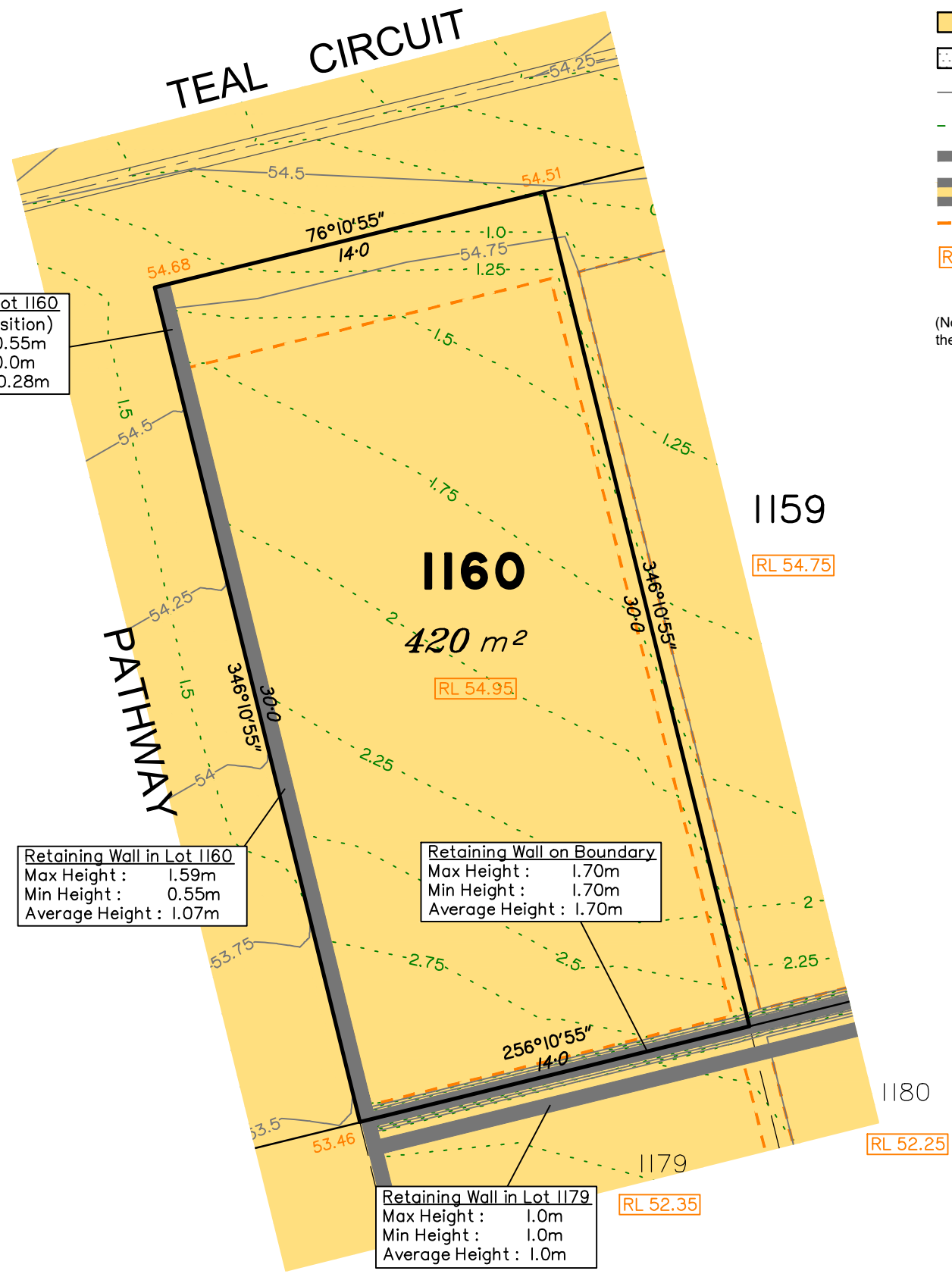
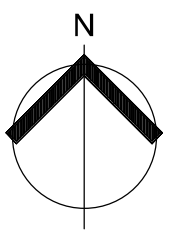




# Everleigh



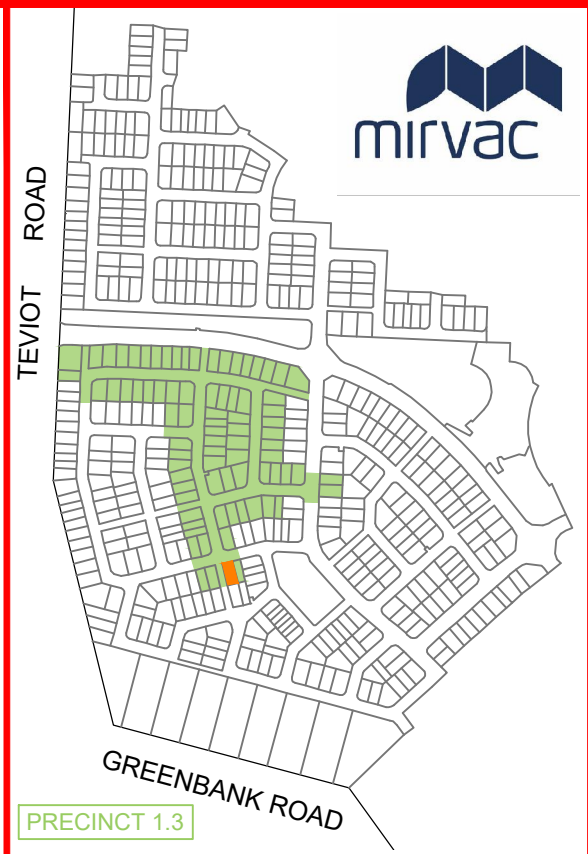
**Retaining Wall in Lot 1160 (Front of Lot Transition)**  
 Max Height : 0.55m  
 Min Height : 0.0m  
 Average Height : 0.28m

**Retaining Wall in Lot 1160**  
 Max Height : 1.59m  
 Min Height : 0.55m  
 Average Height : 1.07m

**Retaining Wall on Boundary**  
 Max Height : 1.70m  
 Min Height : 1.70m  
 Average Height : 1.70m

**Retaining Wall in Lot 1179**  
 Max Height : 1.0m  
 Min Height : 1.0m  
 Average Height : 1.0m

- LEGEND**
- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall
  - Proposed Tiered Retaining Wall
  - Proposed Earthworks Pad
  - RL XX.XX Finished Pad Design Level
  - XX.XX Finished Surface Design Level
- (Not all items in this legend may be relevant to the lot shown hereon)



**PRECINCT 1.3**

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP300873) and engineering plans provided on the 03/09/2018 by Premise Engineering Pty Ltd.

Development approval was granted for this subdivision (DEV2016/768) by the Minister for Economic Development Queensland (17/10/18).

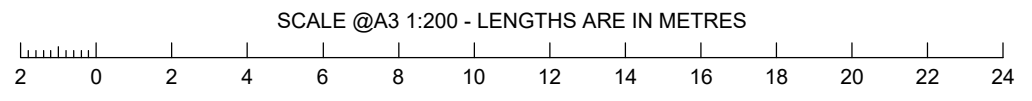
The relevant authorities have granted operational works approval, for the proposed lot.

Extent of retaining walls shown indicatively only. Retaining walls may not extend the full length of a lot boundary where finished level between allotments is less than 0.5m.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Fill placed between proposed tiered retaining walls will generally be equal to the height of the top of the bottom retaining wall.



No.	by	Date	Description
A	TBG	19/02/19	Original Issue

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
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 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 1160 on SP300873**  
 Described as part of Lot 9001 on SP300871  
 Existing Title Reference: 51167980  
 Locality of Greenbank (Logan City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM203673  
 RL of Origin: 54.07  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 7598 S 18 DP A\_1160